

<b>Staff Report</b>			
<b>Case number</b>	BZA-2024-05	<b>Property size</b>	0.15 ac
<b>Property address</b>	610 W Main Street	<b>Property zoning</b>	Is (Institutional)
<b>Applicant(s)</b>	Dave Montgomery on behalf of Anderson Stony Creek Union Public Library		
<b>Property owner(s)</b>	Anderson Stony Creek Union Public Library		
<b>Requested action:</b>	V 8.2.4.B.i. Approval of the Variance of Development Standards in the Institutional zoning district to permit a reduction of the front setback requirement.		
<b>Recommendation:</b>	APPROVE with conditions		

**Exhibits:**

- 1. Location map
- 2. Zoning map

- 3. Submittal
- 4. Site Plan
- 5. Shelter/Pergola Elevations

**ABOUT PROJECT**

**Location**

The subject site is part of the library’s property. It’s located on the east side of Main Street, south of W 7<sup>th</sup> Street.

**Proposal**

The petitioner, Anderson Public Library, would like to add a small pocket park with several attractions, benches, some lights, and a pergola/shelter on site (Exhibits 3, 4 and 5). The petitioner also proposes to repave a public sidewalk along the 7<sup>th</sup> street.



The shelter and some other accessory structures don’t meet the minimum required front setback of 30 feet along the Main Street and 25 feet along the 7<sup>th</sup> Street per the zoning requirement in the Institutional zoning district (V 8.2.4.B.i.). The petitioner requests approval of a Variance of Development Standards to reduce the minimum required setback and permit construction of the shelter and some other above ground accessory structures closer to the front property line along Main and 7<sup>th</sup> Streets.

## ANALYSIS

Per Lapel UDO V 8.2.4.B.i., the required minimum setbacks in the Institutional zoning district are:

- Front setback along the Collector road (Main Street): 30 feet.
- Front setback along the Local street (7<sup>th</sup> street): 25 feet.
- Side setback along the alley abutting a residential use: 25 feet.

Accessory structures like pergolas must both meet the required minimum setbacks (8.2.6.A) and not be built any closer to the front property line than the primary building (8.2.6.D.4). The library is located about 15.5 feet from the Main Street per provided survey.

See Exhibit 4. Site Plan to see where the required setbacks are on the site plan. One can see that most of the parcel is covered by setback areas where above-ground accessory structures are not permitted. The only things that are permitted to be in the setback areas are landscaping and at-grade improvements like sidewalks and drives.

### Current site conditions and the need for a variance

Most of the surrounding area along the Main Street is zoned Downtown Commercial (Exhibit 2). Per Lapel's UDO V 7.2.4.B.i., all the required minimum setbacks in the Downtown Commercial zoning district are zero (0). This is the prevalent zoning district in the area and the recommended zoning district for most lots along the Main Street in the Comprehensive Plan (see Figure 1). Due to that, one will observe that most buildings in the area are built up to the property lines.

The petitioner would like to request that their improvements are built close to the property lines similar to the building form of other structures in the vicinity.

### Staff's Observations

Staff doesn't see a problem with reducing the required setback to a degree. Here are a few suggestions:

- Petitioner proposes to build the shelter one foot away from the property line. Pergola's overhang is 1.5 feet, which means that the pergola would creep a bit over the sidewalk. While the shelter could be built closer to Main Street's property line than 30 feet (or the existing library's front setback of 15 feet), staff would suggest moving the shelter at least 4-5 feet from the sidewalk (measured to the posts), so that the rain from the shelter's roof doesn't fall on the sidewalk.
- The location of other accessory structures like the round bench on the east side, or musical play equipment on the north side looks fine despite being in the setback area.
- Staff would suggest that some improvements that are technically proposed to be on the public land like the sidewalk along the 7<sup>th</sup> street and a small segment of the walk that leads to it from the park (northeast corner) be approved by the Council before construction commences.



Figure 1. Recommended future uses / zoning districts along Main Street by the Comprehensive Plan

## **Variance of Development Standards Criteria**

In order to approve a variance of development standards, the BZA needs to find that three (3) criteria are met. The applicant proposes their findings to these criteria in the submittal (Exhibit 3, page 2). Staff proposes their findings of fact below.

## **VARIANCE OF DEVELOPMENT STANDARDS FINDINGS**

If the Board should decide to APPROVE the requested Variance of Development Standards, please use the following findings of fact:

The Lapel Board of Zoning Appeals is authorized to approve or deny Variances of Development Standards by Indiana Code 36-7-4-918.5 and by Lapel UDO V1.6.3. The BZA may impose reasonable conditions as part of its approval. A Variance of Development Standards may be approved upon a determination in writing that the following three (3) criteria are met (V1.6.9.A):

- **The approval will not be injurious to the public health, safety, morals, and general welfare of the community:**

According to the recommendation of the Comprehensive Plan, the land along Main Street is recommended to be developed as a Downtown Commercial zoning district where the required minimum setbacks are zero even for the buildings. Due to that, the reduction of a setback for a few small accessory structures will not be injurious to the public health, safety, morals, and general welfare of the community. In addition to this, a small pocket park in the heart of the Main Street will improve the area by providing an attractive community gathering spot.

- **The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner:**

It is likely that the use and value of real estate adjacent to the subject site will NOT be affected in a substantially adverse manner by allowing the requested variance. Nearby property owners may remonstrate against this petition if they believe this request will have significant adverse effects on adjacent properties. Should nothing contrary be brought to light by adjacent owners at the public hearing, it is presumed that the approval of this variance request will not have a substantially adverse effect on the use and value of adjacent properties.

- **The strict application of the terms of this Ordinance will result in a practical difficulty in the use of the property.**

It appears that most of the parcel is within a setback area making addition of any improvement difficult. A similar parcel downtown could be mostly built up if it was zoned Downtown Commercial.

## RECOMMENDATION

APPROVE the requested Variance of Development Standards based upon the following findings of fact:

- The approval **will not** be injurious to the public health, safety, morals, and general welfare of the community;
- The use and value of the area adjacent to the property included in the variance **will not** be affected in a substantially adverse manner;
- The strict application of the terms of this Ordinance **will** result in a practical difficulty in the use of the property.

With the following specific conditions:

1. The Applicant shall revise the plans and move the shelter at least 4 feet of the front property line along the Main Street.
2. The Applicant shall sign the Acknowledgement of Special Use document prepared by the Lapel Planning Staff within 60 days of this approval. Staff will then record this document against the property and a file stamped copy of such recorded document shall be available in the Lapel Town Hall.
3. Any alterations to the approved building plan or site plan, other than those required by the Board of Zoning Appeals (BZA), shall be submitted to the Planning Department prior to the alterations being made, and if necessary, a BZA hearing shall be held to review such changes.

## MOTION OPTIONS

- Motion to **approve** the Variance of Development Standards to permit the reduction of a front and side setback requirement along all streets and alleys to place certain accessory structures as per submitted application BZA-2024-05 based upon the findings of fact *[listed by the applicant], and/or [presented by staff], and/or [any other findings of fact added during the BZA discussion]* with specific conditions *[proposed by staff], and/or proposed by the Board.*
- Motion to **deny** the Variance of Development Standards for the subject real estate as per submitted application BZA-2024-05 because... (List reasons, findings of fact)
- Motion to **continue** the review of the application BZA-2024-05 until the next regular meeting on *October 3, 2024*, because ... (list reasons).



# EXHIBIT 1. LOCATION MAP AND SURROUNDING USES



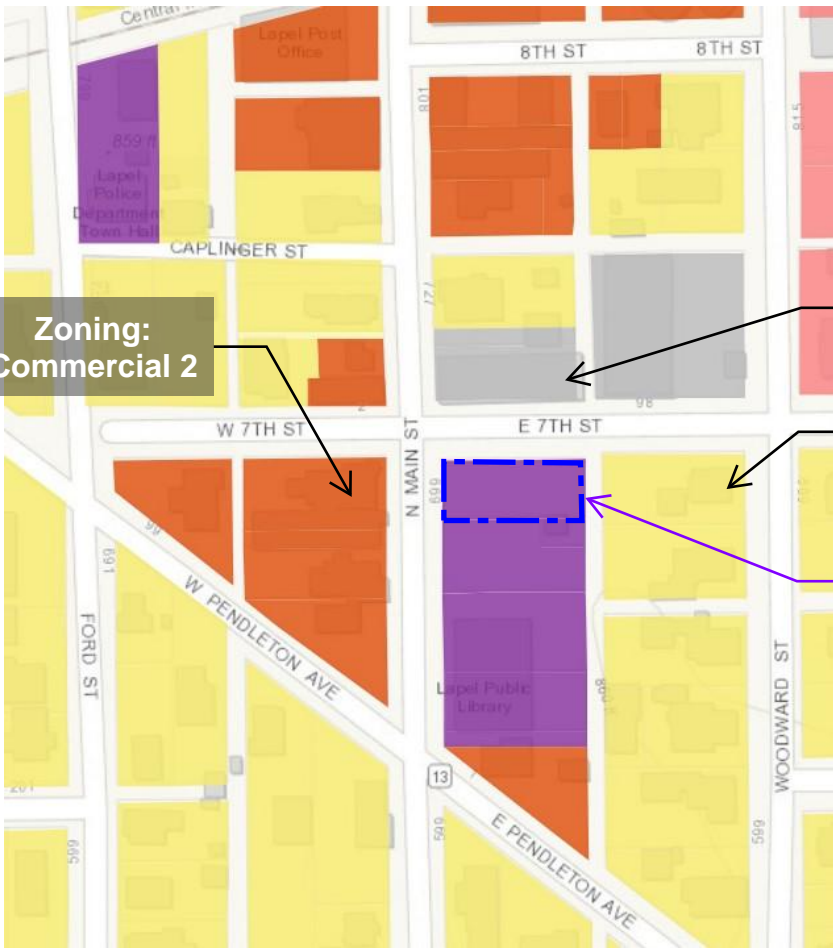
**Beacon**<sup>TM</sup>

Madison County, IN | Assessor Larry D. Davis

Library, 610 W Main Street, Lapel, IN



## EXHIBIT 2. ZONING MAP



Zoning:  
Commercial 2

Zoning:  
Light  
Industrial

Zoning:  
Residential

SUBJECT SITE  
Zoning:  
Institutional

### Town of Lapel Zoning

-  Ag - Agriculture
-  R1 - Single Family Residential: Suburban Neighborhood
-  R2 - Single Family Residential: Traditional Neighborhood
-  R3 - Multi-Family Residential
-  C1 - General Commercial
-  C2 - Downtown Commercial
-  Is - Institutional and Social
-  Il - Light Industrial
-  Ig - General Industrial
-  Po - Parks and Open Space



## EXHIBIT 3. SUBMITTAL



### PETITION CHECKLIST

Note: All documents must be legible. All text documents must be typewritten, or computer generated. All drawings, such as site plans, elevations, sign details, maps, surveys, must be drawn to an appropriate scale, dimensioned, and in ink.

1. One (1) completed checklist (this form).
2. One (1) completed petition, signed by the owner of the subject property or an authorized agent, notarized, and filed at least 35 days prior to a scheduled public hearing.
3. One (1) copy of a general location or area map indicating (in a reproducible manner) the location of the property and the surrounding area. Maps created using internet mapping sites are acceptable.
4. Four (4) copies of the legal description attached to the petition. Attach one to the petition; attach one copy to each of the Ordinances as referenced above.  
*Metes and bounds descriptions should include two (2) copies of the perimeter survey, drawn to scale. - or - Recorded subdivision legal description includes lot number, section number, subdivision name, plat book number with page number and must include a plat map (plat maps are available in Room 741 of the City-County Building/or a nominal charge).*
5. Three (3) copies of a site plan must be filed. Plans must be legible and drawn to a scale of 1= 10, 1=20, 1=30, or 1=40. Additional information may be required, but at the minimum, plans must include the information described on the site plan form.
6. Non-refundable filing fee. See Fee Schedule for fee.
7. On-site hearing notice sign fee. The On-Site Notice must be posted in a conspicuous location along each street frontage of the affected property. There is a non-refundable fee of \$10 per sign required.
8. Surrounding property owners (optional). As part of the legal notice requirement, the petitioner is required to notify the owners of surrounding properties per the Rules of Procedure. Petitioners can request a list of those property owners requiring notice of their petition for an optional \$25 fee. The list of owners compiled will be provided to the petitioner on label form. Petitioners are still required to make copies of the legal notice and mail it to the list provided. If petitioners do not choose this option, they must obtain their own list of surrounding property owners from the County Assessor's Office.
9. Contact person identified. This Contact Person is notified when Legal Notice is prepared; contacted to provide additional information; and receives the written Staff Report.

Contact Name	Dave Montgomery
Contact Address	1020 Jackson Street Anderson, Indiana 46011
Contact Phone	765-620-4079
Contact Email	dmontgomery@krmarchitecture.com

Acceptable methods of payment include cash, check, or MasterCard, VISA, Discover or American Express credit card. Checks must be made payable to "Town of Lapel." Credit cards are accepted; however, the credit card processing agency assesses a fee ~3% of the transaction amount.



(Circle one)  
**PLAN COMMISSION / BZA**

DOCKET NO.

PETITION APPLICATION  
 2 PAGES

PETITIONER REQUEST – CIRCLE ALL THAT APPLY	REZONE - USE VARIANCE - <u>DEVELOPMENT STANDARDS VARIANCE</u> - SPECIAL EXCEPTION MODIFICATION OF: SITE PLAN - DEVELOPMENT STATEMENT - COMMITMENTS/CONDITIONS APPROVAL OF USE IN SPECIAL DISTRICT - APPEAL OF ADMINSTRATOR'S DECISION		
MEETING DATE REQUEST	Sept. 3rd 2024		
PROPERTY OWNER	Anderson Public Library--Edra Waterman, Director		
OWNER'S ADDRESS	111 E 12th Street Anderson IN 46106		
PROJECT ADDRESS	610 Main Street Lapel, IN 46051	TOWNSHIP	Stony Creek
OWNER'S EMAIL ADDRESS	ewaterman@andersonlibrary.net		
CONTACT PERSON	Edra Waterman		
CONTACT PHONE NUMBER	765-641-2454		
EMAIL ADDRESS	ewaterman@andersonlibrary.net		
LEGAL DESCRIPTION (SELECT ONE)	COMPLETE METE AND BOUNDS LEGAL DESCRIPTION ATTACHED -OR- PLATTED SITE WITHIN A RECORDED SUBDIVIION, COPY OF PLAT MAP ATTACHED. SUBDIVION NAME <u>Town of Lapel</u> LOT NUMBER(S) <u>#25 &amp; #26</u> SECTION NUMBER(S) _____ RECORDED IN PLAT BOOK NUMBER _____ PAGE(S) _____ OR RECORDED AS INSTRUMENT NUMBER _____		
OWNERSHIP	DOES THE PETITIONER OWN 100% OF THE AREA INVOLVED IN THE PETITION? YES NO OTHER OWNERS? <u>Yes, Public Library</u>		
TAX PARCEL NUMBERS	48-10-28-401-012.000-032 48-10-28-401-013.000-032		





ACREAGE	#25 .162 acres #26 .2 acres	PARCEL COUNT	
CODE ENFORCEMENT	IS THE PROPERTY SUBJECT TO ANY CODE ENFORCEMENT ACTION? YES NO NO		
CURRENT ZONING CLASSIFICATION	Institutional		
CURRENT COMPREHENSIVE PLAN RECOMMENDATION			
EXISTING PROPERTY USE	Library		
EXISTING IMPROVEMENTS ON PROPERTY			
PROPOSAL NARRATIVE	ATTACH NARRATIVE IF NEEDED 20' x 20' shade structure next to the west property line. The Library is adding a green space / park to there current location. They are adding concrete walkway, planting trees, different assortment of plants, 20' x 20' shade structure. Play equipment, Bulldog statue, bench, 3 light poles.		
ORDINANCE	SPECIFY ANY SPECIFIC ORDINANCE(S), STANDARD(S), CONDITION(S), COMMITMENT(S), AND/OR REGULATION(S) SOUGHT TO BE MODIFIED. ATTACH ADDITION PAGE IF NEEDED. Requesting a variance on the existing 25' setback ordinance. Would like to build a 20' x 20' shade structure on the westside of the property.		

OATH: THE PETITION APPLICATION INFORMATION, TO MY KNOWLEDGE AND BELIEF, IS TRUE AND CORRECT.

*[Handwritten Signature]*

PETITIONER SIGNATURE

*[Handwritten Signature]*

OWNER SIGNATURE

**NOTARY**

SUBSCRIBED AND SWORN TO BEFORE ME THIS

DATE 7-29-84

NOTARY PUBLIC SIGNATURE

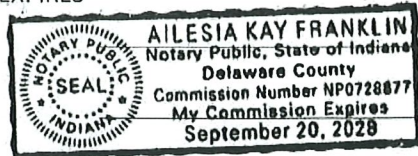
*[Handwritten Signature]*

NOTARY PUBLIC PRINTED NAME

Ailesia K. Franklin

MY COMMISSION EXPIRES

MY COUNTY OF RESIDENCE



**NOTARY**

SUBSCRIBED AND SWORN TO BEFORE ME THIS

DATE 7-29-2024

NOTARY PUBLIC SIGNATURE

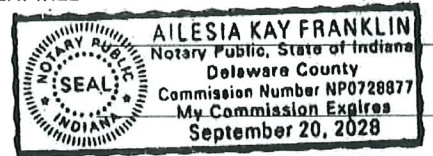
*[Handwritten Signature]*

NOTARY PUBLIC PRINTED NAME

Ailesia K. Franklin

MY COMMISSION EXPIRES

MY COUNTY OF RESIDENCE





## FINDINGS OF FACT FOR VARIANCE (DEVELOPMENT STANDARD)

The approval ( **will / will not** ) be injurious to the public health, safety, morals, and general welfare of the community because; Will not be injurious

Because the Library is adding a park type space that can be enjoyed by the Town of Lapel or any person in the area. Currently it is a grass area with a few trees. After the project is done, it will be a more inviting space / lot for community members to congregate safely & enjoy nature.

The use and value of the area adjacent to the property included in the variance ( **will / will not** ) be affected in a substantially adverse manner because;

Will not be affected,

Because it will be an improvement to the existing use of the lot / space. The Library wants to add a 20' x 20' shade structure to the westside of the property. Because it will be an improvement to the existing use of the lot / space. shade structure to the westside of the property.

The strict application of the terms of the Zoning Code ( **will / will not** ) result in practical difficulties in the use of the property because: Will not.

It currently is a grass area with a few trees. They are keeping several of the trees. The finished plan will improve the area. Bring more patrons to the Library. An overall improvement for the community.

There ( **are / are not** ) exceptional or extraordinary circumstances or conditions applicable to the property or to the intended use that do not apply generally to the other property or class of use in the same vicinity and district because;

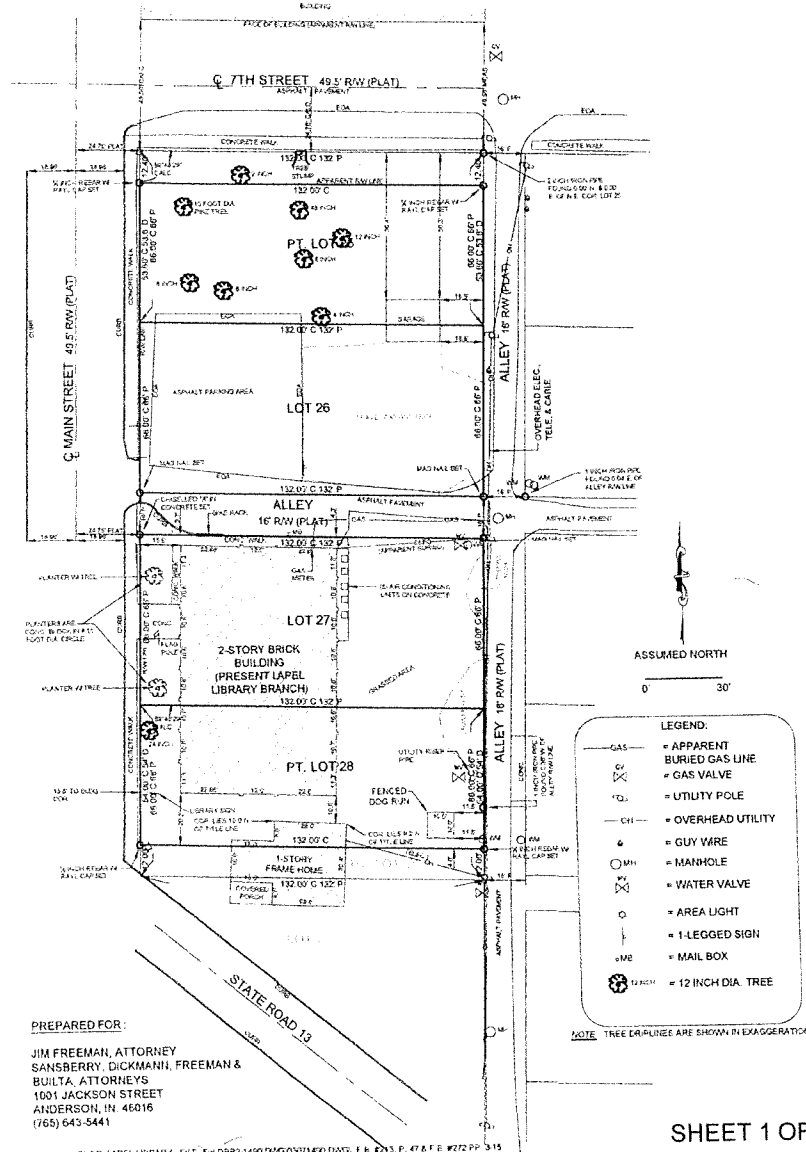
Are Not.

The Library is adding a park / grass green space area to a vacant lot. They are adding a 20' x 20' shade structure on the westside of the property that can be used by people of the community. It will be an improvement to the area.



**A.L.T.A./A.C.S.M. LAND TITLE SURVEY**

LOT NUMBERED 26 AND 27, A PART OF LOTS NUMBERED 25 AND 28, AND THE ALLEY BOUNDED BY LOT NUMBERED 26 ON THE NORTH, LOT 27 ON THE SOUTH AND MAIN STREET ON THE WEST, ALL IN THE ORIGINAL PLAT OF THE TOWN OF LAPEL, INDIANA.



SHEET 1 OF 3

PREPARED FOR:  
 JIM FREEMAN, ATTORNEY  
 SANBERRY DICKMANI, FREEMAN & BULTA, ATTORNEYS  
 1001 JACKSON STREET  
 ANDERSON, IN 46016  
 (765) 643-5441



405 Massachusetts Avenue  
 Suite 3B  
 Indianapolis, IN 46204  
 T 317.536.6161  
 hitchcockdesigngroup.com

PREPARED FOR  
**Lapel Public Library**

610 Main Street  
 Lapel, IN 46051

PROJECT  
**Lapel Library Improvements**

610 Main Street  
 Lapel, IN 46051

CONSULTANTS



ISSUED  
 4-19-24

No	Date	Issue	REVISIONS

DM

SHEET TITLE  
 SITE SURVEY

SCALE

SHEET NUMBER



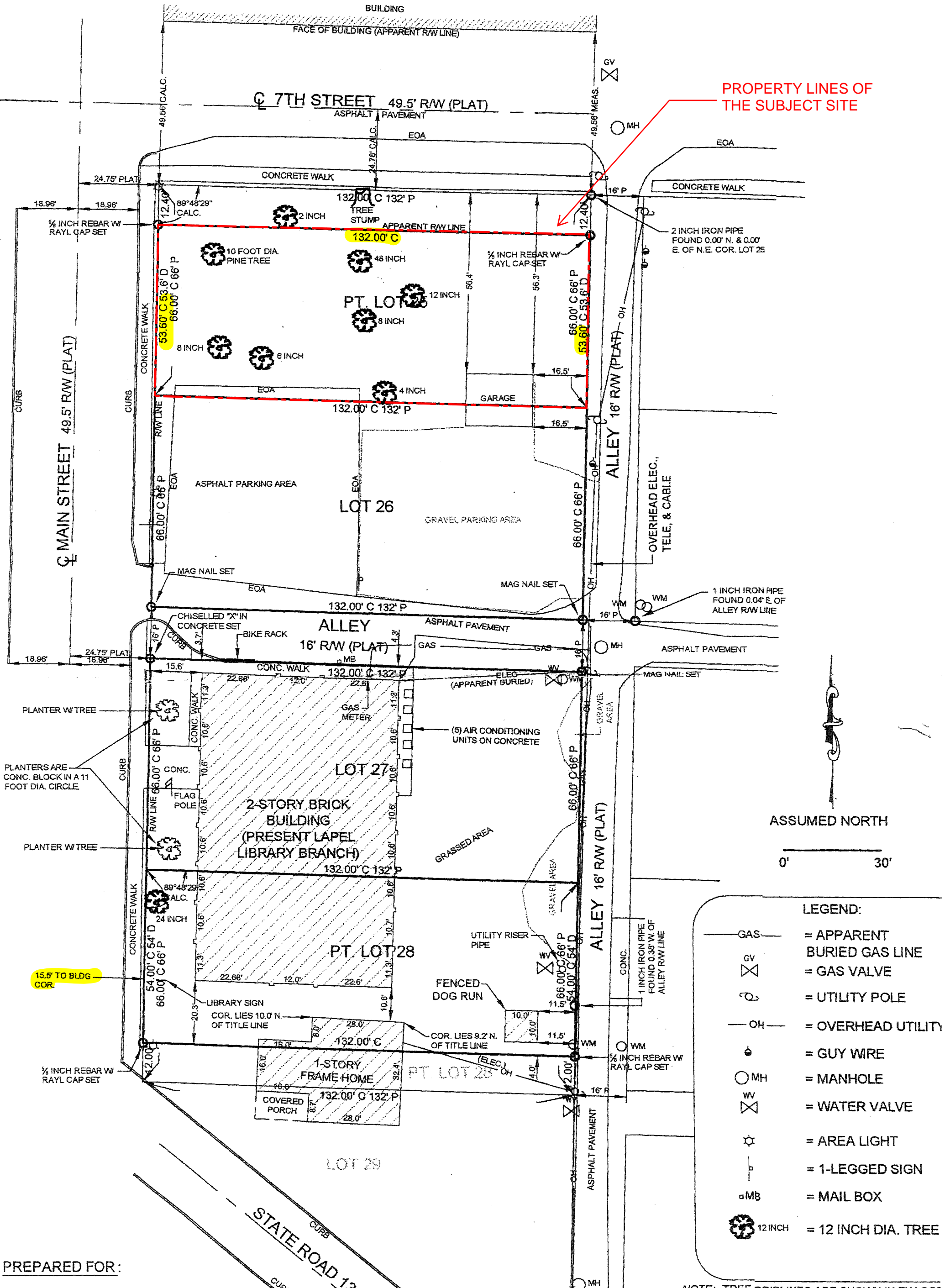
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# A.L.T.A./A.C.S.M. LAND TITLE SURVEY

LOT NUMBERED 26 AND 27, A PART OF LOTS NUMBERED 25 AND 28, AND THE ALLEY BOUNDED BY LOT NUMBERED 26 ON THE NORTH, LOT 27 ON THE SOUTH AND MAIN STREET ON THE WEST, ALL IN THE ORIGINAL PLAT OF THE TOWN OF LAPEL, INDIANA.



PREPARED FOR:

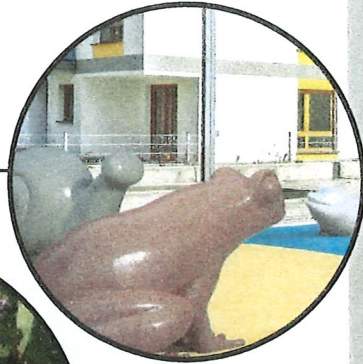
STATE ROAD 13



Stamped Concrete



QCP - Play



Gravel with Binder Walk



Decomposed Granite Walk



EXISTING SHED



Via Bench - Vestre



Pollinator Garden



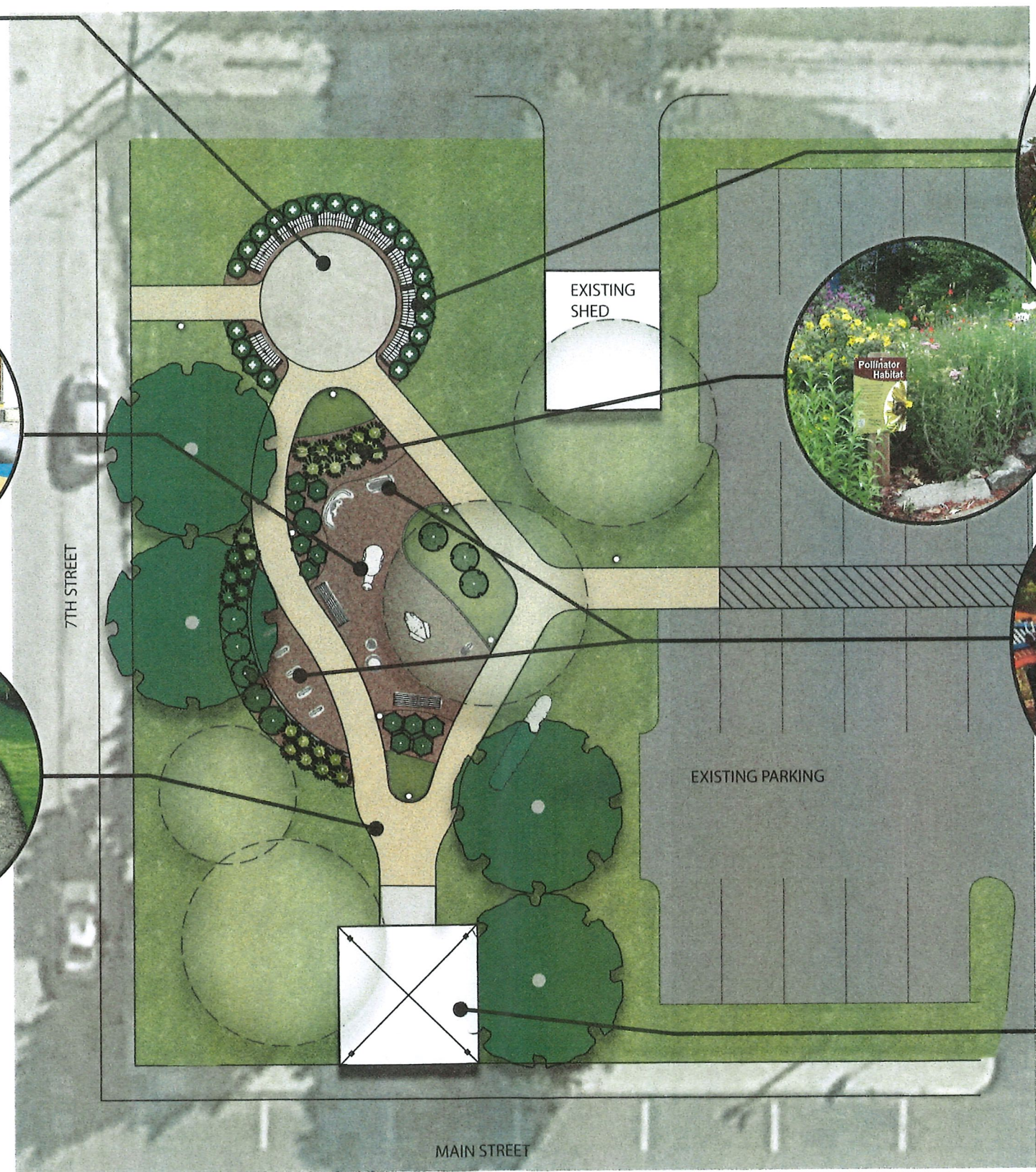
Musical Play Area



EXISTING PARKING



Shade Structure





Warble Chimes



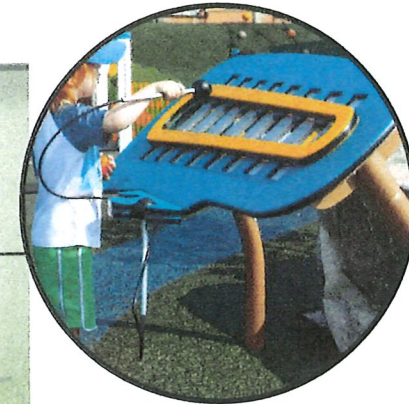
Pentatonic Scale



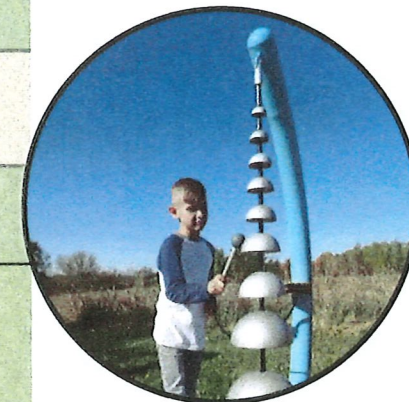
Junior Tongue Drum



Ditty Metallophone



Cascata Bells



Kettle Junior Drum

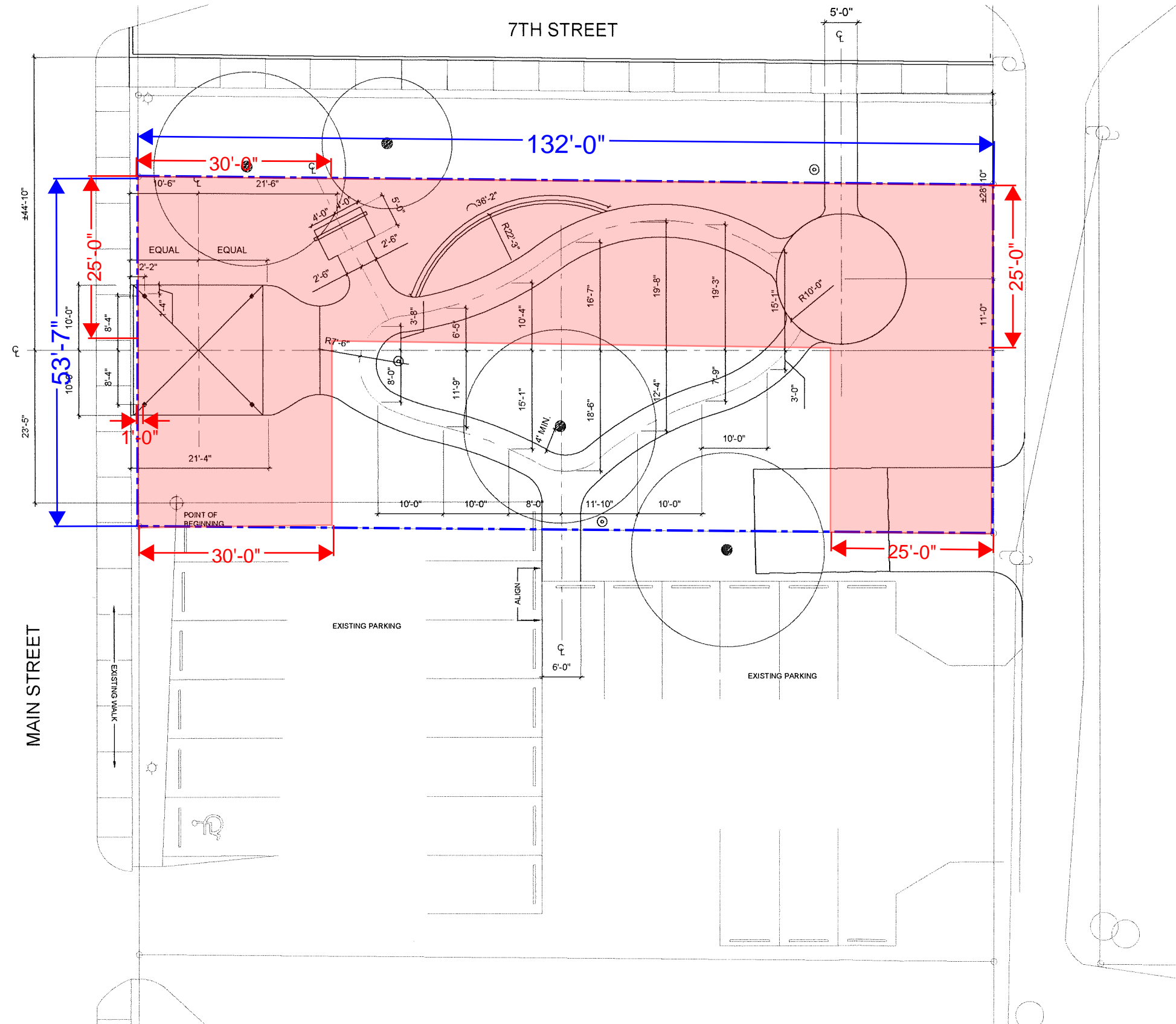




# EXHIBIT 4. SITE PLAN

## LEGEND OF STAFF'S COMMENTS

- BLUE LINE: PROPERTY LINES PER SURVEY
- RED COLORED AREA: REQUIRED SETBACKS (FRONT AND SIDE)



## LAYOUT NOTES

- A. TOPOGRAPHIC AND SURVEY INFORMATION WAS NOT PROVIDED. LANDSCAPE ARCHITECT CLAIMS NO RESPONSIBILITY FOR ACCURACY OF INFORMATION PROVIDED. VERIFY AND CONFIRM ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- B. LOCATE AND VERIFY ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING WORK.
- C. CONTRACTOR RESPONSIBLE FOR FIELD LAYOUT OF ALL NEW IMPROVEMENTS. DIGITAL FILES OF GEOMETRIC INFORMATION WILL BE PROVIDED UPON REQUEST IN AUTOCAD FORMAT.
- D. STAKE LAYOUT OF WALKS PRIOR TO STARTING WORK FOR REVIEW AND APPROVAL OF LANDSCAPE ARCHITECT. DRAWINGS SHALL NOT BE SCALED FOR LAYOUT PURPOSES.
- E. PROVIDE SMOOTH TRANSITION FROM NEW AREAS TO EXISTING FEATURES AS NECESSARY.
- F. WHERE NEW PAVEMENT IS SHOWN TO MEET EXISTING, SAW CUT EXISTING PAVEMENT VERTICALLY, REMOVE DELETERIOUS MATERIAL, AND PREPARE FOR NEW WORK.
- G. ALL AREAS WHERE PROPOSED ASPHALT PAVEMENT MEETS THE EXISTING PAVEMENT THE EXISTING PAVEMENT EDGE SHALL BE SAW CUT VERTICALLY AND PROPERLY SEALED WITH A TACK COAT MATERIAL.
- H. ALL DIMENSIONS IN CURBED AREAS SHALL BE TO FACE OF CURB. ALL DIMENSIONS IN AREAS WITHOUT CURBING SHALL BE TO EDGE OF PAVEMENT. ALL DIMENSIONS AT WALK GRAB CURB AND WALK SHALL BE TO FACE OF CURB. ALL DIMENSIONS FROM BUILDING SHALL BE FROM FACE OF BUILDING.
- I. ALL DIMENSIONS ARE PARALLEL AND PERPENDICULAR TO BASE LINES, PROPERTY LINES OR BUILDING LINES UNLESS OTHERWISE NOTED.
- J. ALL RADII INDICATED SHALL BE FORMED AS CIRCULAR ARCS. ALL CURBS AND ARCS SHALL INTERSECT OTHER CURBS AND LINES AT POINTS OF TANGENCY TO FORM SMOOTH TRANSITIONS UNLESS CLEARLY SHOWN OTHERWISE.
- K. RADII SHALL BE 5'-0" ON PARKING LOTS, CONCRETE WALKS AND ASPHALT TRAILS UNLESS OTHERWISE NOTED OR WHERE DRAWING APPEARS SIGNIFICANTLY DIFFERENT.
- L. WHERE NOT SHOWN, CONCRETE SIDEWALK AND RETAINING WALL EXPANSION JOINTS SHALL BE 30'-0" O.C. AND CONTROL JOINTS 5'-0" O.C. MAX. CURB EXPANSION JOINTS SHALL BE 50'-0" O.C. MAX AND AT ALL 90 DEGREE ANGLES. CONTROL JOINTS SHALL ALIGN WITH ADJACENT SIDEWALK WHERE APPLICABLE, OTHERWISE 30'-0" MAXIMUM SPACING SHALL BE USED.
- M. ACCESSIBLE RAMPS AND SIGNAGE SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, COUNTY, CITY AND LOCAL CODES (WHICHEVER HAS JURISDICTION). SEE SITE PLANS FOR LOCATIONS AND SITE DETAILS FOR SPECIFICATIONS.
- N. SEED ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES AND NOT CALLED OUT TO BE PAVED OR PLANTED WITH OTHER PLANT MATERIAL.
- O. CONTRACTOR SHALL OBTAIN ALL PERMITS AND COORDINATE WITH LOCAL REGULATORY AGENCIES AS REQUIRED BY LOCAL JURISDICTIONS.
- P. REFER TO SPECIFICATIONS FOR ADDITIONAL CONDITIONS, STANDARDS AND NOTES.



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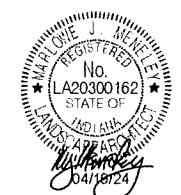
PREPARED FOR  
**Lapel Public  
Library**

610 Main Street  
Lapel, IN 46051

PROJECT  
**Lapel Library  
Improvements**

610 Main Street  
Lapel, IN 46051

CONSULTANTS  
*Interior Design*  
krM Architecture  
Indianapolis, IN 46202  
T 317.968.9868



ISSUED  
April 19, 2024

No	Date	Issue
	2024.04.19	ISSUE FOR BID

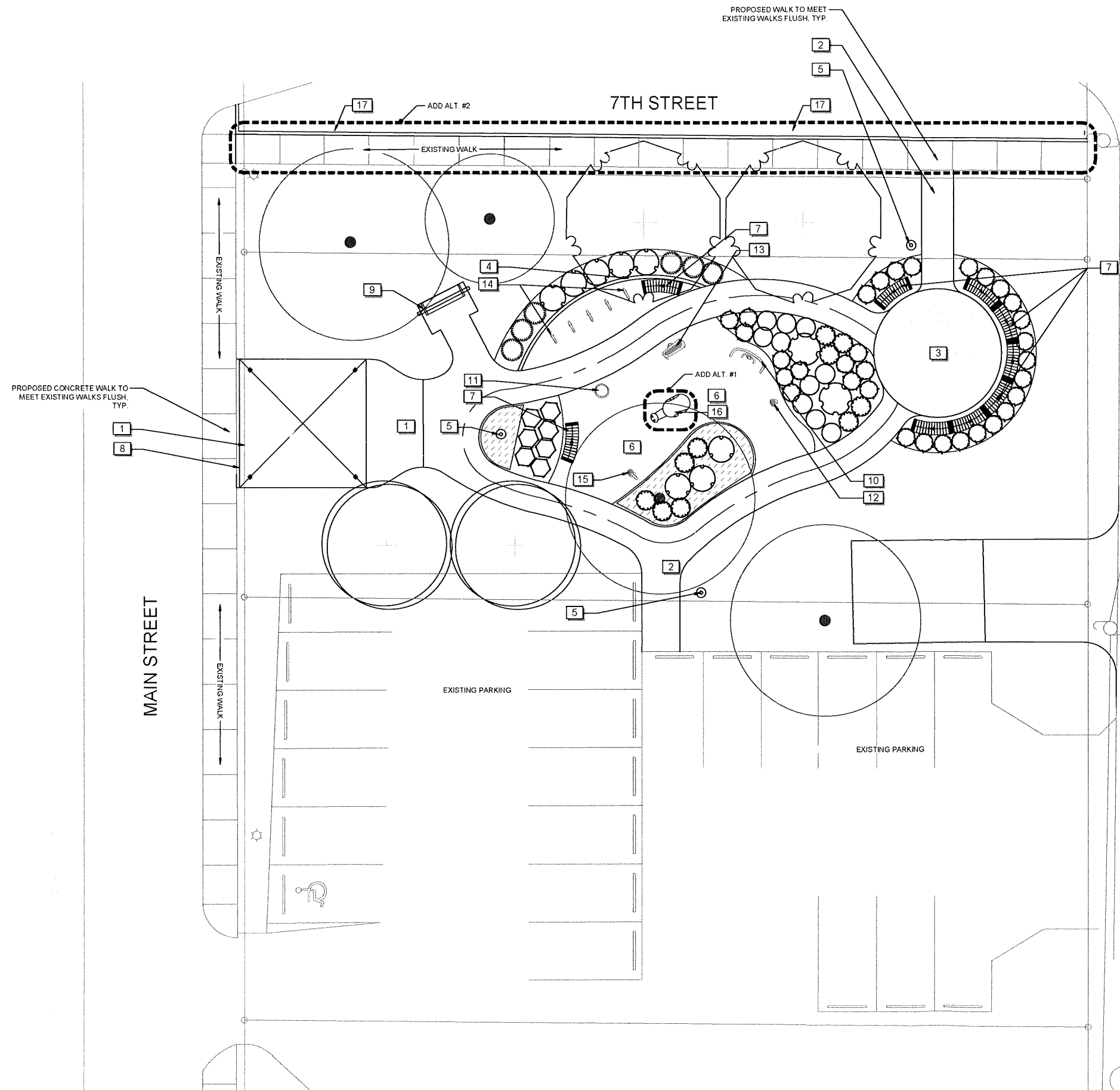
CHECKED BY: M.J.M.      DRAWN BY: MUA

SHEET TITLE  
**Layout Plan**

SCALE IN FEET  
1/8" = 1'-0"  
0' 4' 8' 24'

NORTH      SHEET NUMBER

**110**



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	CONCRETE WALK - MEDIUM BROOM FINISH, STANDARD, GRAY CONCRETE	1/L2.1
2	SPECIALTY CONCRETE EXPOSED AGGREGATE FINISH - (LIGHT GREEN) EXPOSURE BY DECORATIVE CONCRETE RESOURCES INTEGRAL COLOR - BROWNSTONE MEDIUM BY PRISM CORPORATION. INSTALL PER MANUFACTURER'S RECOMMENDATION WWW.DCRCONCRETE.COM T.866.792.9009	1/L2.1
3	SPECIALTY CONCRETE STAMPED CONCRETE - BUTTERFIELD ASHLAR SLATE STAMP PATTERN #B5T4000 OR APPROVED EQUAL WWW.BUTTERFIELDCOLOR.COM INTEGRAL COLOR - BROWNSTONE MEDIUM BY PRISM CORPORATION. INSTALL PER MANUFACTURER'S RECOMMENDATION WWW.DCRCONCRETE.COM T.866.792.9009	1/L2.1
4	CONCRETE CONTAINMENT CURB	2/L2.1
5	PEDESTRIAN LIGHT FIXTURE/POLE - GLP DESIGN FIXTURE#BHS/AB40AC-CUG3LED65-T5-40K/IGN POLE#GP1750CT-12/IGN OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATION MATT NETHERTON - MATTHEW.N@PROFESSIONALLIGHTINGSERVICES.COM T.317.340.3422	
6	EVF MULCH	3/L2.1
7	ROUND BENCH - VIA BENCH #1308-900, 10'R, STANDARD WOOD SEAT, POWDER COAT COLOR RAL# 9011 OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATION JOHN PATTERSON - JOHN@VESTRE.COM T.512.554.1041	
8	SHADE SHELTER - POLIGON WSO 20x20 STRUCTURE COLOR:208 STAIN; ROOF: SHINGLE OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATION MEGAN MILLER - MEGAN@MIRACLEINDIANA.COM T.463.224.6640	
9	HANGING SWING - BELSON OUTDOORS MODEL #CM6WB-1 SWING OR APPROVED EQUAL. COLOR: BLACK. INSTALL PER MANUFACTURER'S RECOMMENDATION	
10	PLAY EQUIPMENT - RHAPSODY WARBLE CHIMES #228214 NICK BRANYAN - NICK@PLAYPROS.COM T.260.403.7963 WWW.PLAYLSI.COM	
11	PLAY EQUIPMENT - RHAPSODY KETTLE DRUM #214445 NICK BRANYAN - NICK@PLAYPROS.COM T.260.403.7963 WWW.PLAYLSI.COM	
12	PLAY EQUIPMENT - RHAPSODY TONGUE DRUM #250341 NICK BRANYAN - NICK@PLAYPROS.COM T.260.403.7963 WWW.PLAYLSI.COM	
13	PLAY EQUIPMENT - RHAPSODY DITTY METALLOPHONE #228212 NICK BRANYAN - NICK@PLAYPROS.COM T.260.403.7963 WWW.PLAYLSI.COM	
14	PLAY EQUIPMENT - RHAPSODY PENTATONIC SCALE VIBRA CHIMES #251574 NICK BRANYAN - NICK@PLAYPROS.COM T.260.403.7963 WWW.PLAYLSI.COM	
15	PLAY EQUIPMENT - RHAPSODY CASCATA BELLS #250340 NICK BRANYAN - NICK@PLAYPROS.COM T.260.403.7963 WWW.PLAYLSI.COM	
16	ADD ALTERNATE #1 CONCRETE PLAY STATUE BY OCP #OSSNAIL - COLOR: NATURAL; FINISH: CRAFTSMAN ETCH. INSTALL PER MANUFACTURER'S RECOMMENDATION WWW.OCP-CORP.COM T.951.256.3229	
17	ADD ALTERNATE #2 REMOVE EXISTING SIDEWALK AND REPLACE WITH 6" CONCRETE CURB AND 5' WIDTH SIDEWALK ALONG 7th STREET EDGE	

CONTRACTOR TO ENSURE POSITIVE DRAINAGE ON ALL PAVED AREAS. MAINTAIN 2% MAX. SLOPE, TYP. CONTACT LANDSCAPE ARCHITECT WITH ANY ISSUES ESTABLISHING POSITIVE DRAINAGE.



405 Massachusetts Avenue  
Suite 3B  
Indianapolis, IN 46204  
T.317.536.6161  
hitchcockdesigngroup.com

PREPARED FOR  
**Lapel Public Library**  
610 Main Street  
Lapel, IN 46051

PROJECT  
**Lapel Library Improvements**

610 Main Street  
Lapel, IN 46051

CONSULTANTS  
Interior Design  
krM Architecture  
Indianapolis, IN 46202  
T.317.968.9868



ISSUED  
April 19, 2024

No	Date	Issue
	2024.04.19	ISSUE FOR BID

CHECKED BY: MJM      DRAWN BY: MUA

SHEET TITLE  
**Materials Plan**

SCALE IN FEET  
1/8" = 1'-0"

0' 4' 8' 24'

NORTH      SHEET NUMBER





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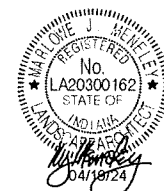
CONSULTANTS  
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**PLANTING NOTES**

- A. CONTRACTOR RESPONSIBLE FOR EROSION CONTROL IN ALL SEEDED/SODDED AREAS.
- B. PLANT MATERIAL SHALL BE INSTALLED AND MAINTAINED BY A QUALIFIED AND EXPERIENCED LANDSCAPE CONTRACTOR.
- C. LOCATE AND VERIFY ALL PUBLIC AND PRIVATE UTILITIES PRIOR TO STARTING LANDSCAPE WORK.
- D. STAKE AND CONFIRM ALL DIMENSIONS, GRADES, AND PLANT LAYOUT PRIOR TO STARTING WORK. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT IMMEDIATELY.
- E. PROVIDE 3" SHREDDED HARDWOOD MULCH IN ALL PLANTING BEDS AND IN 5' DIA AROUND ALL TREES UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE A MULCH RING AROUND ALL EXISTING TREES WITHIN THE LIMIT OF WORK. REMOVE ALL EXISTING GRASS FROM AREA TO BE MULCHED AND PROVIDE A TYPICAL SPADE EDGE.
- F. DO NOT LOCATE PLANTS WITHIN 10' OF UTILITY STRUCTURES, OR WITHIN 5' HORIZONTALLY OF UNDERGROUND UTILITY LINES UNLESS OTHERWISE SHOWN ON THE PLANS. CONSULT WITH LANDSCAPE ARCHITECT IF THESE CONDITIONS EXIST.
- G. PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND SUMMARIZED FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL AGENCIES ONLY. CONFIRM AND INSTALL SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS DRAWN AND SPEC'ED. SUBSTITUTIONS SHALL NOT BE ALLOWED UNLESS SUBMITTED IN WRITING AT LEAST 10 DAYS PRIOR TO BID DATE AND APPROVED VIA ADDENDUM BY LANDSCAPE ARCHITECT.
- H. SEED ALL AREAS DISTURBED BY CONTRACTOR'S OPERATIONS, INCLUDING AREAS BEYOND.
- I. PLANTING BEDS SHALL RECEIVE SPADE EDGE UNLESS OTHERWISE NOTED.
- J. AMEND OR INSTALL TOPSOIL PER SPECIFICATIONS. TOPSOIL SHALL BE FREE OF DELETERIOUS MATERIALS OR EXTRANEOUS MATERIALS LARGER THAN 1". VERIFY DEPTH AND QUALITY OF TOPSOIL PRIOR TO PLANT INSTALLATION. LAWN AREAS SHALL HAVE A MIN. OF 4" TOPSOIL, AND PLANTING BEDS A MIN. OF 12". TOPSOIL SHALL BE STOCKPILED AND REUSED ON SITE. WHERE QUANTITIES ARE INSUFFICIENT, TOPSOIL MAY BE IMPORTED FROM OFF SITE.
- K. PROVIDE PRE-EMERGENT HERBICIDE ON PLANTING BEDS AT RATES PER MANUFACTURER'S DIRECTIONS.
- L. TREES SHALL NOT BE STAKED EXCEPT WITH APPROVAL FROM LANDSCAPE ARCHITECT FOR ACCOMMODATION OF ENVIRONMENTAL CONDITIONS.
- M. INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH LOCAL CODES AND ORDINANCES. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AS REQUIRED BY LOCAL JURISDICTIONS.
- N. PLANT MATERIAL AND WORKMANSHIP SHALL BE WARRANTED FOR A PERIOD OF 1 YEAR FROM SUBSTANTIAL COMPLETION. REPLACE ALL PLANTS MORE THAN 1/4 DEAD AS SOON AS WEATHER CONDITIONS ALLOW THROUGHOUT WARRANTY PERIOD.

**PLANT SCHEDULE**

CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	QTY
<b>DECIDUOUS TREES</b>				
ASA	Acer saccharum Sugar Maple	2.5' Cal.	B & B	2
LT	Liriodendron tulipifera Tulip Tree	2.5' Cal.	B & B	2
<b>SHRUBS</b>				
HQU	Hydrangea quercifolia Oakleaf Hydrangea	24" Ht	Cont/B&B	8
POP	Physocarpus opulifolius 'Little Devil' TM	-	3 Gal.	7
TME	Taxus x media 'Densiflora' Dense Yew	-	3 Gal.	20
<b>PERENNIALS</b>				
BDA	Buddleja davidi Butterfly Bush	-	3 Gal.	2
RPU	Rudbeckia purpurea Purple Coneflower	-	1 Gal.	10
SSY	Salvia x sylvestris 'May Night' May Night Sage	-	1 Gal.	10
<b>GRASSES</b>				
PVI	Panicum virgatum 'Heavy Metal' Blue Switch Grass	-	1 Gal.	6
PAL	Pennisetum alopecuroides 'Hameln' Hameln Dwarf Fountain Grass	-	1 Gal.	12
<b>GROUNDCOVERS</b>				
LMB	Liriope muscari 'Big Blue' Big Blue Lilyturf	1 Gal	16" o.c.	70



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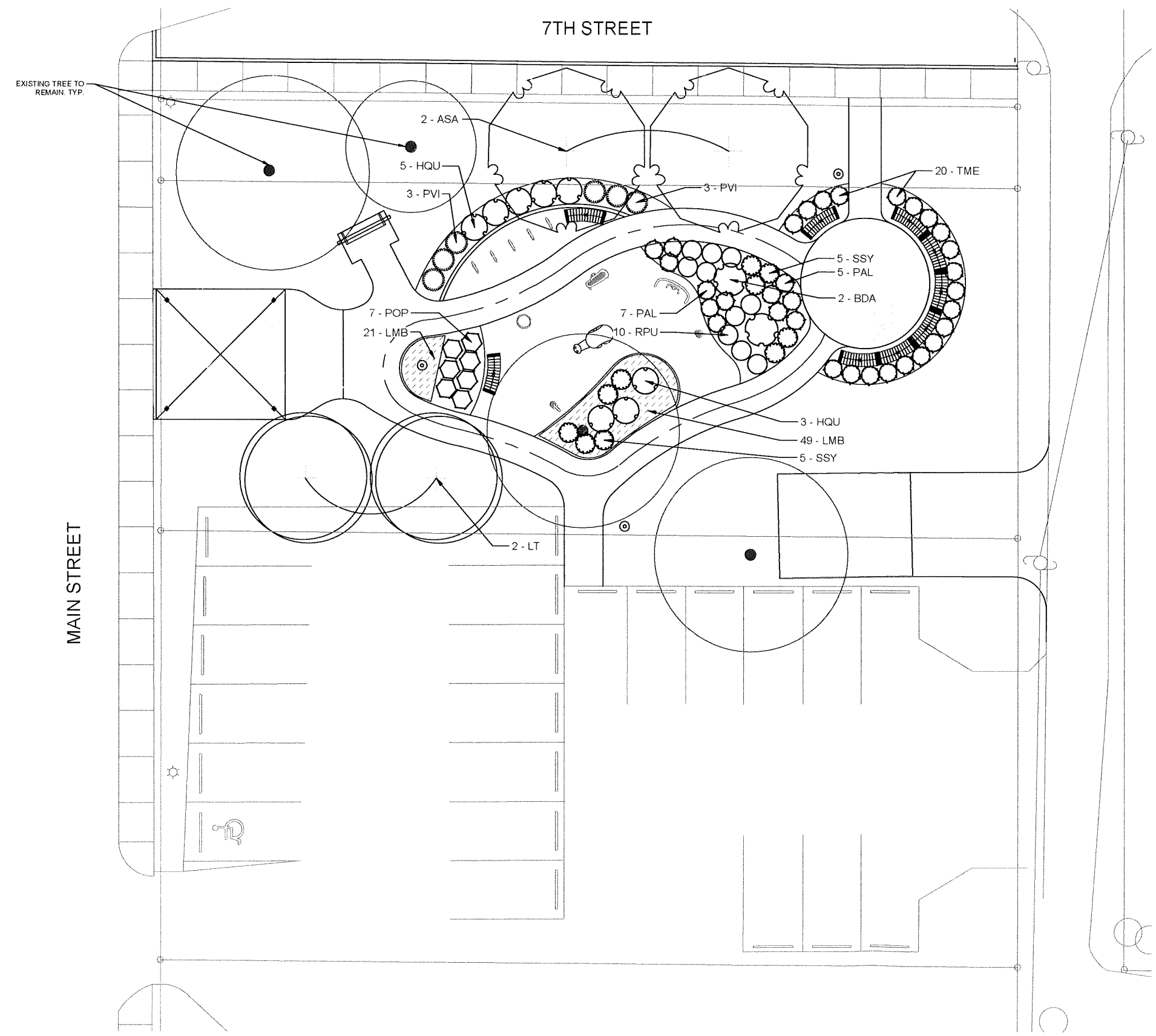
CHECKED BY: MJM      DRAWN BY: MUA

SHEET TITLE  
**Planting Plan**

SCALE IN FEET  
1" = 10'

NORTH      SHEET NUMBER

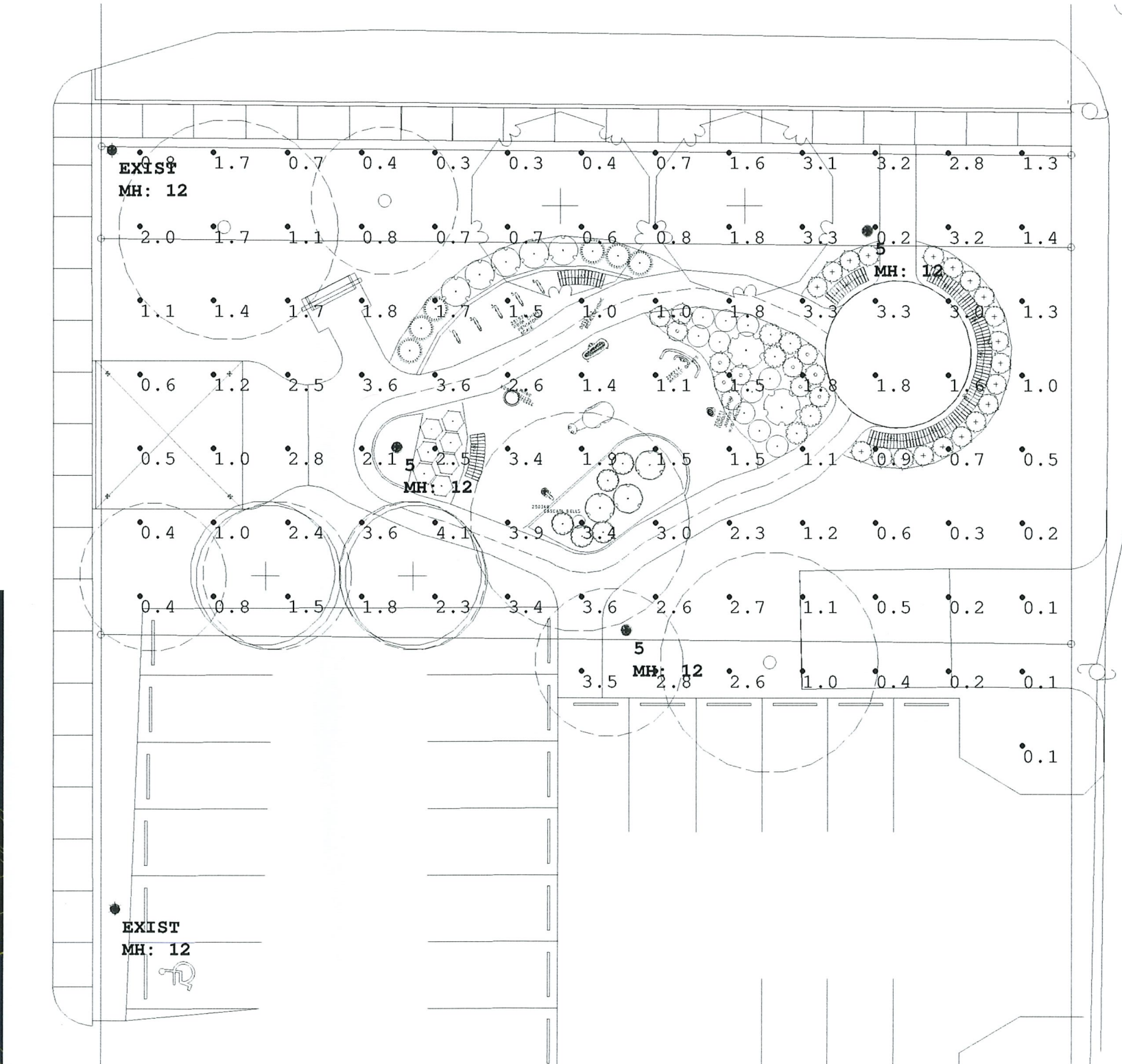
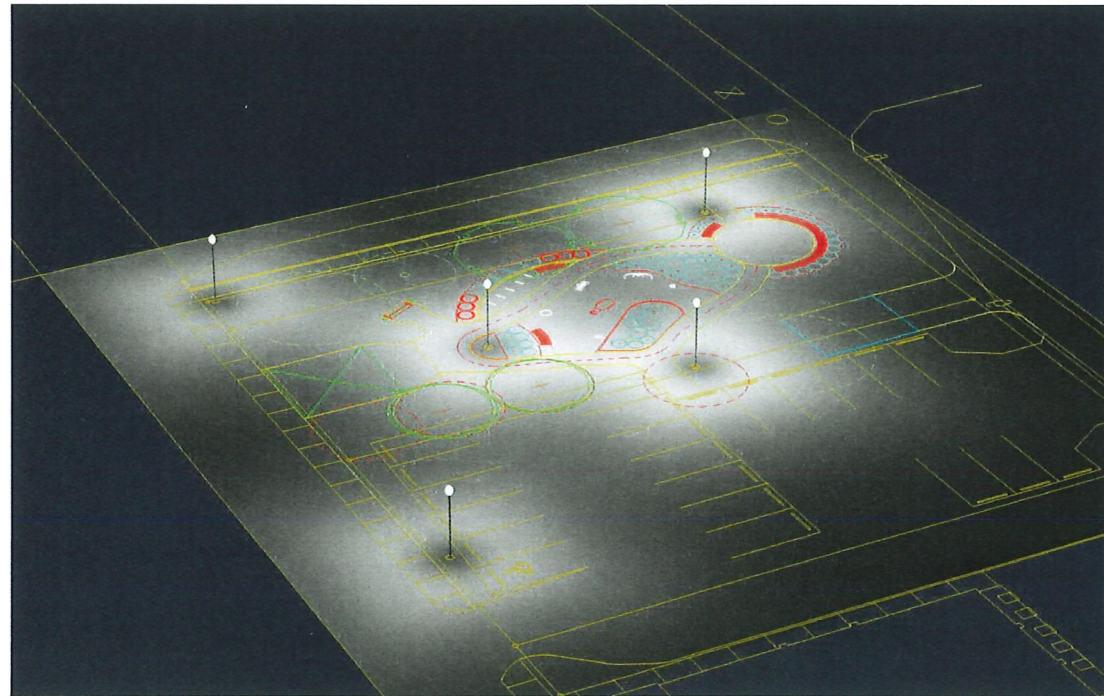
**112**





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.64	4.1	0.1	16.40	41.00

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
●	2	EXIST	Single	8376	0.500	EXISTING LIGHT POLE (ESTIMATED)
●	3	5	Single	8376	0.900	GLP AB40AC-CL_G3LED65-T5-40K



Photometric analysis conducted using project information provided by others. Actual light levels may vary from those indicated due to unlisted conditions such as obstructions, dirt, etc.

#	Date	Comments

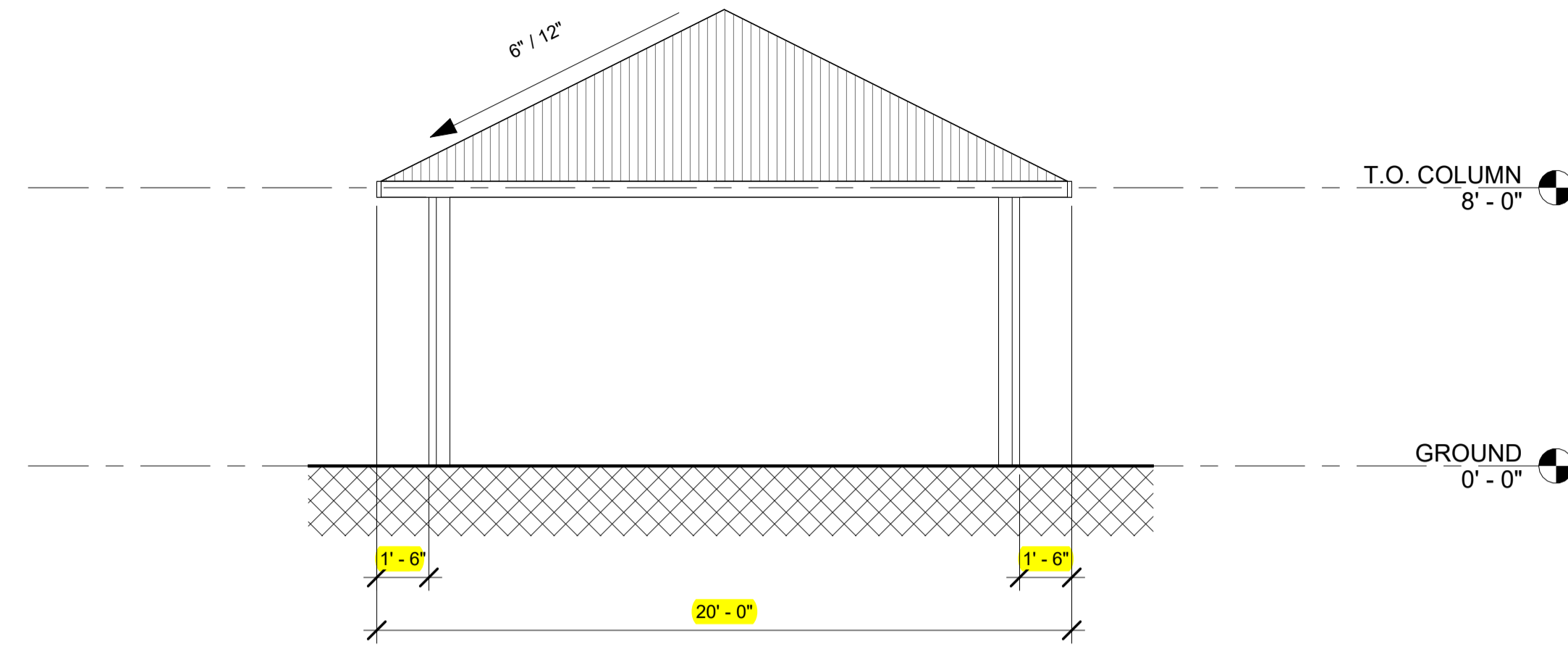
Revisions

Drawn By: TOS  
 Date: 4/29/2024

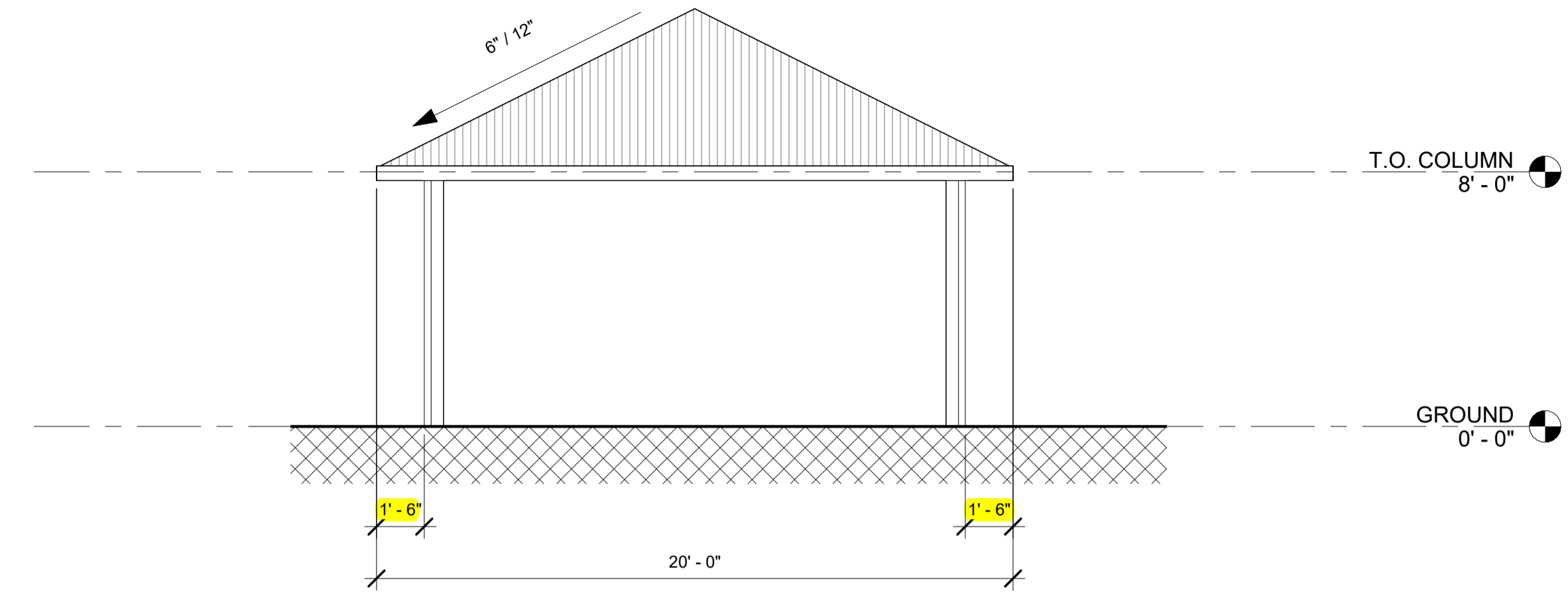
LAPEL LIBRARY IMPROVEMENTS  
 LAPEL, IN



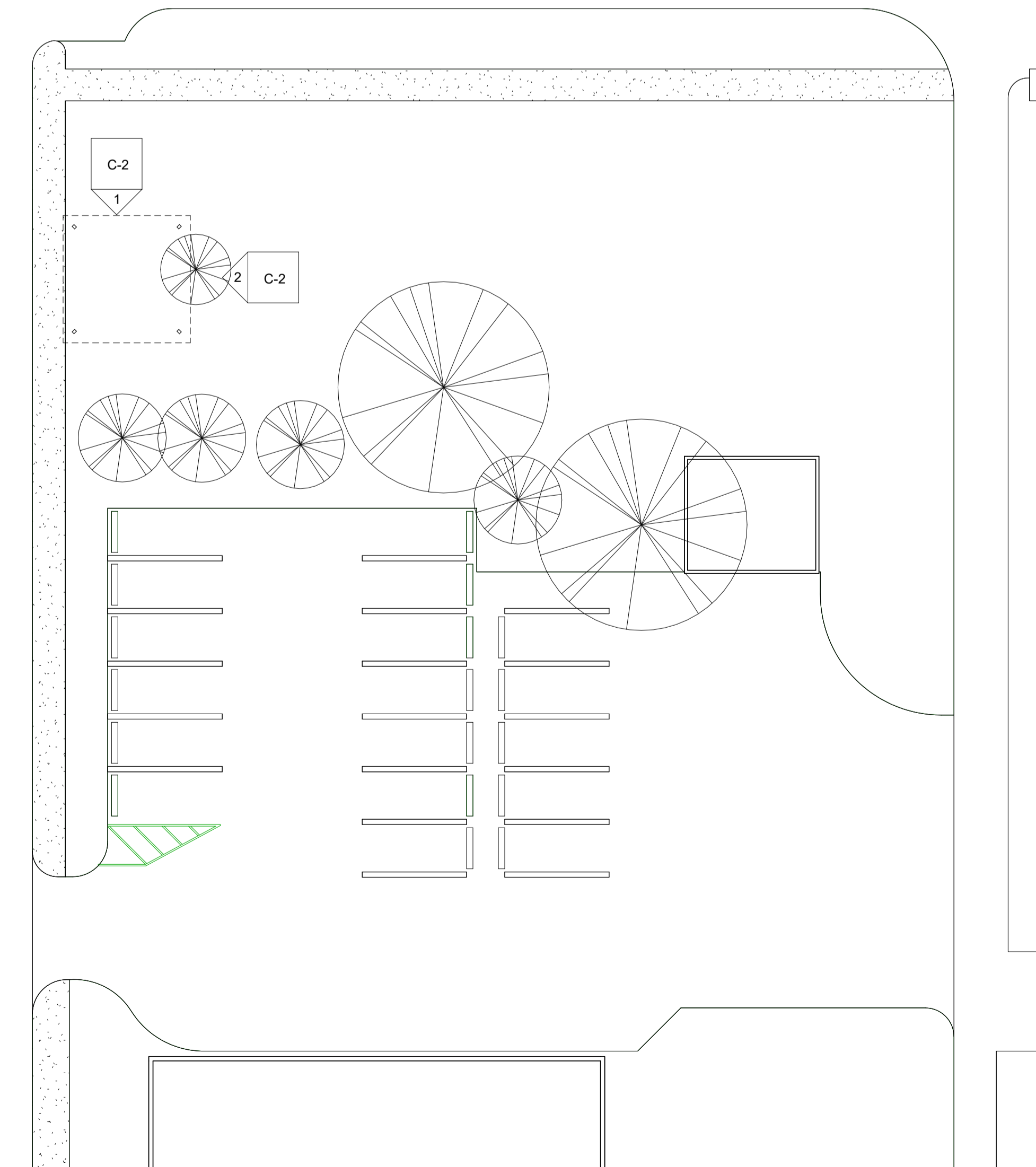
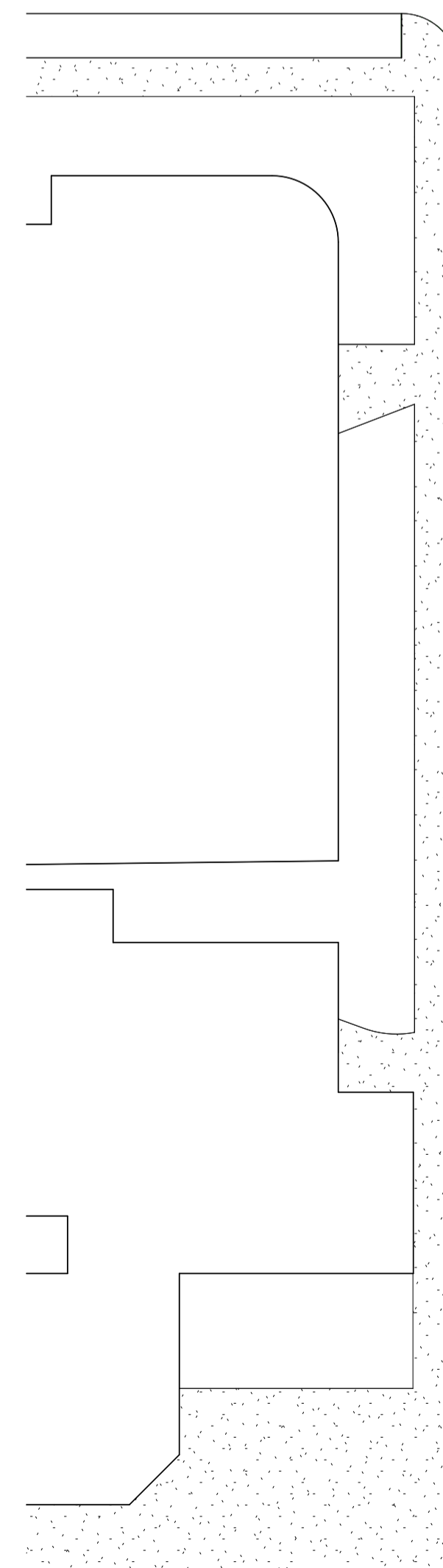
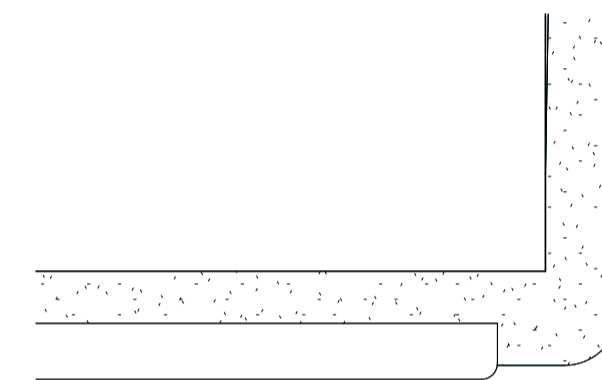
# EXHIBIT 5. ELEVATIONS



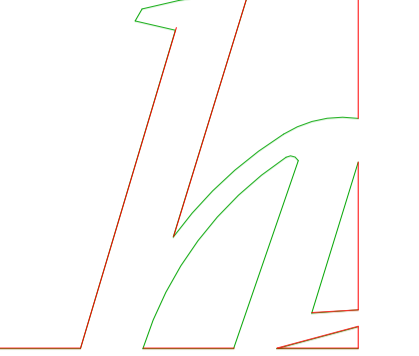
2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



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CONSULTANTS



ISSUED  
8-27-24

No	Date	Issue	REVISIONS

DM

SHEET TITLE  
SHADE STRUCTURE ELEVATIONS

SCALE 1" = 10'

SHEET NUMBER



A4-1

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